



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100625159-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☒ Applicant ☐ Agent

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="23"/>
First Name: *	<input type="text" value="Niyi"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text" value="Oludipe"/>	Address 1 (Street): *	<input type="text" value="Eilston Loan"/>
Company/Organisation	<input type="text" value="Pearlsprings Limited"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text" value=""/>	Town/City: *	<input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH29 9FL"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value=""/>		

Site Address Details

Planning Authority:

City of Edinburgh Council

Full postal address of the site (including postcode where available):

Address 1:

12 SPRINGVALLEY GARDENS

Address 2:

MORNINGSIDE

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

EDINBURGH

Post Code:

EH10 4QG

Please identify/describe the location of the site or sites

Northing

671290

Easting

324475

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Proposed change of use from office to short term let holiday accommodation. At 12 Springvalley Gardens Edinburgh EH10 4QG

Type of Application

What type of application did you submit to the planning authority? *



Application for planning permission (including householder application but excluding application to work minerals).



Application for planning permission in principle.



Further application.



Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

We believe the reasons given for the rejection of our application are not valid. Plus, the planning office breached its own processes and procedures and retrospectively applied new policy in their decision making. Refusal is based on broad assumptions that do not align with the facts on ground at the property and there are already existing controls in place to address the potential issue called out. The decision does not appear to have been taken in good faith.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Supporting documents attached.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

22/04432/FUL

What date was the application submitted to the planning authority? *

05/09/2022

What date was the decision issued by the planning authority? *

27/03/2023

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☐ Yes ☐ No ☒ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Niyi Oludipe

Declaration Date: 17/04/2023

App: 22/04432/FUL - Statement of Appeal against refused planning permission for the proposed change of use from office to short term let accommodation - 12 Springvalley Gardens, EH10 4QG

We are writing in respect of a recent decision by the planning office to deny our application for a change of use of a commercial property, left empty and derelict for 10 years, but now transformed into a high quality, energy efficient two bed, two bath accommodation to welcome guests into our great City of Edinburgh.

The planning office confirmed all other aspects of planning requirements for the property, including the design, overlooking, energy efficiency, with no impact on existing housing stock, and other key considerations were fully satisfied but nonetheless, denied our application on the following basis:

- The proposal is contrary to Local Development Plan Policy Hou 7 in respect of inappropriate Uses in Residential Areas, as the use of this dwelling as a short stay let will have a materially detrimental effect on the living condition and amenity of nearby residents.

- The proposal is contrary to National Planning Framework 4 (NP4) policy 30(e) part (i) in respect of local amenity, as the use of this dwelling as a short stay let will result in an unacceptable impact on local amenity and surrounding area

Our application was submitted on September 5, 2022 but we did not receive a decision until nearly 7 months later, with a notice dated 27 March, 2023.

According to the Council's own [Planning Application Process](#), "For most applications, the Council has 2 months to make a decision unless longer is agreed." There was no communication or any agreement for the determination to be longer than the statutory 2 months, and the planning office seemed to have unilaterally decided when it would assess and determine the case. This is an egregious violation of the Council's own process and procedures. Further, the Planning Customer Service Charter 2021, pg 7, sets out that, "Within 25 working days of a valid application being received, we will visit the site where appropriate." This should have been done as at 7th October following our submission but was not done.

In addition, we believe the NP4 policy should be inapplicable in determining this case. Reaching back into the past and retrospectively applying the new policy, (NP4)," as adopted by the Scottish Ministers on 13 February 2023", 3 months after our application should have been determined in November 2022, seems like a particularly onerous effort to discredit the application.

With regards to the other reason for refusal, Local Development Plan Policy Hou 7, the planning office posited that "the use of the property will have a materially detrimental effect on the living conditions and amenity of nearby residents."

Whilst there are residential units on the side of the property, the property is located in a mixed use area, next to other commercial units and has its own main entrance (away from any other residential properties) and the way the property would be used as a short term let is similar to that of residential property. The underlying design and build, approved by the Council, supports this and therefore it is not a material change of use, making it lawful use. The property typically sleeps a family of 4, and will be let out as a single unit.

As in the attached photos, the distance between the opening of the pend off Springvalley Gardens to the front door of the property would take no more than a minute's walk or a family of four more than 5mins to get inside the house. It will take an even shorter time (literally 6 feet) to get between the end of the pend, where there are windows above the pend, which itself is more than 12 feet from the ground, and into the property. Inserting a key into the door and pulling in suitcases (on the rare occasion of late arrivals) in under 5 mins, would not be materially different from a residential property where a family living there on a long term basis could work night shift patterns, have university aged children who come home in the middle of the night, or be emergency workers who have to go out to attend to an emergency in the middle of the night.

As a result, there would be no material detriment on the local amenity or living condition of nearby residents. A visit to the property and its location can be arranged to confirm this.

We therefore believe the reason for refusal is unjust, unfair, based on broad assumptions that do not align with the facts on ground at the property and not taken in good faith. Moreover, there are already existing controls in place on the council website for neighbours to report any potential issues.

The [Visitscotland](#) website indicated that in 2019, 3.5 million international guests visited the city of Edinburgh, spending a total of £2.5b that same year. This fell off a cliff in 2021 with spend declining 82% to £459 million due to the pandemic. With restrictions removed and holiday bookings ramping back up (Ryanair had a record sales in January 2023 with 5million bookings in a week!), the city is bound to attract a huge number of tourists this year who would have missed the great festivals - Book, Jazz, Children, Film, Fringe Festivals, the Tattoo and many other wonderful attractions in the city which continues to draw tourists from all over the world. The city's designation in 2022 as the top city to visit will also add to the expected guests coming into the city going forward.

With the Edinburgh Council clamping down (and rightly so) on unsuitable accommodation - communal entry, residential properties etc. being used for short term let, it is imperative to have adequate capacity to meet what would be a massive shortage of affordable accommodation for tourists and we believe this property satisfies the Council's stringent requirements and should instead be held up as an example of properties that should be granted planning and licenses to support the council's mission.

We are hardworking and law-abiding small business constantly looking for ways of contributing to the local economy. Our contributions to tackling the housing shortage, one family at a time, has seen us bring over 20 empty/derelict homes back into use and transform them into comfortable homes for families on a long term basis and we currently provide homes for about a dozen families across Scotland.

We believe the reasons given for the rejection of our application are not valid, and our application should be approved.

We would like to appeal to the good conscience of our representatives to act in good faith and support this application in the interest of our city.

Thank you.

Yours sincerely,
Niyi Oludipe
For: Pearlsprings Limited.



THE CITY OF EDINBURGH COUNCIL

Planning & Building Standards
PLACE

AMENDMENT TO BUILDING WARRANT

Building (Scotland) Act 2003

Amendment under section 9 of a building warrant

This amendment of the building warrant detailed below is granted by The City of Edinburgh Council in connection with the application for amendment by Mr Niyi Oludipe

The reference number of this amendment is - 20/01380/WARR/A

Details of original building warrant

Date of building warrant: 26 January 2021

Reference number of building warrant: 20/01380/WARR

Address of building or site to which the building warrant applies:

12 Springvalley Gardens, Edinburgh, EH10 4QG

Amendment(s) to original building warrant:

Addition of an Ensuite Shower room to the First floor bedroom.

A copy of the plans showing this amendment are enclosed

Signed

Dated 21 September 2022

PAUL LAWRENCE

Executive Director of Place

For and on behalf of

The City of Edinburgh Council

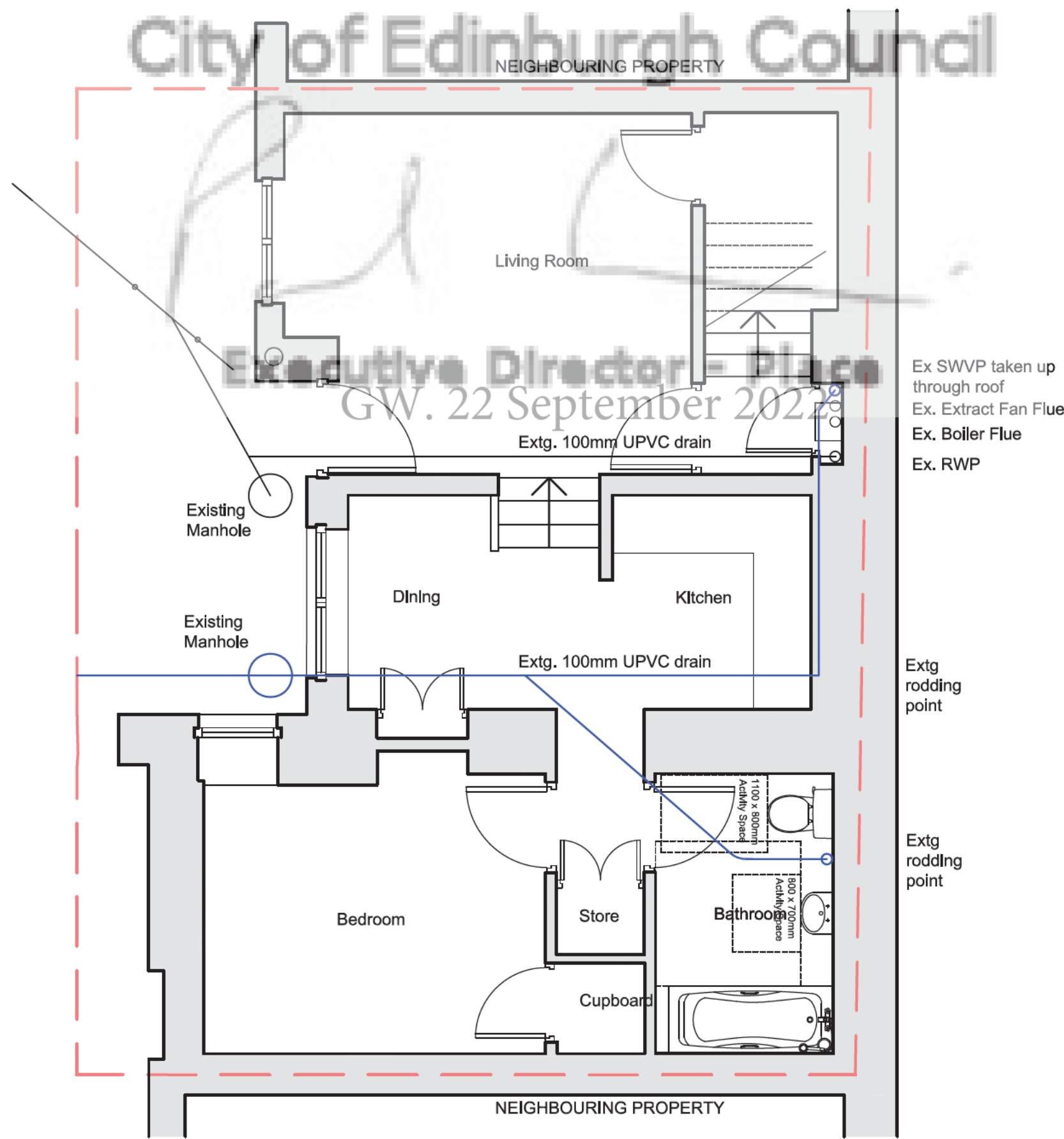
WARNING

Please note that approval of amendment of building warrant does not

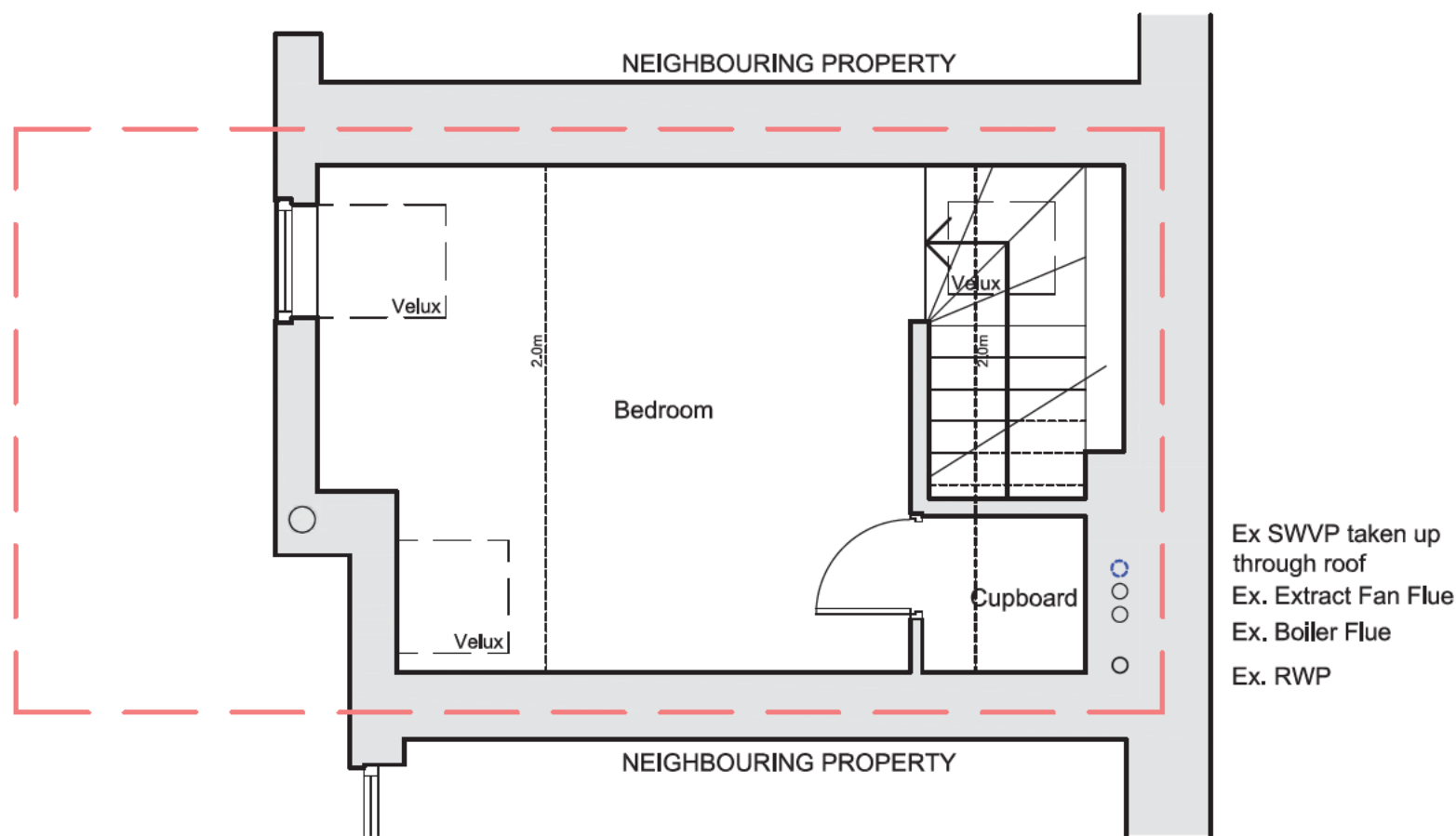
- remove the need to obtain amended planning permission if that is required (consult the planning authority if in doubt).

- extend the period of validity of the building warrant.

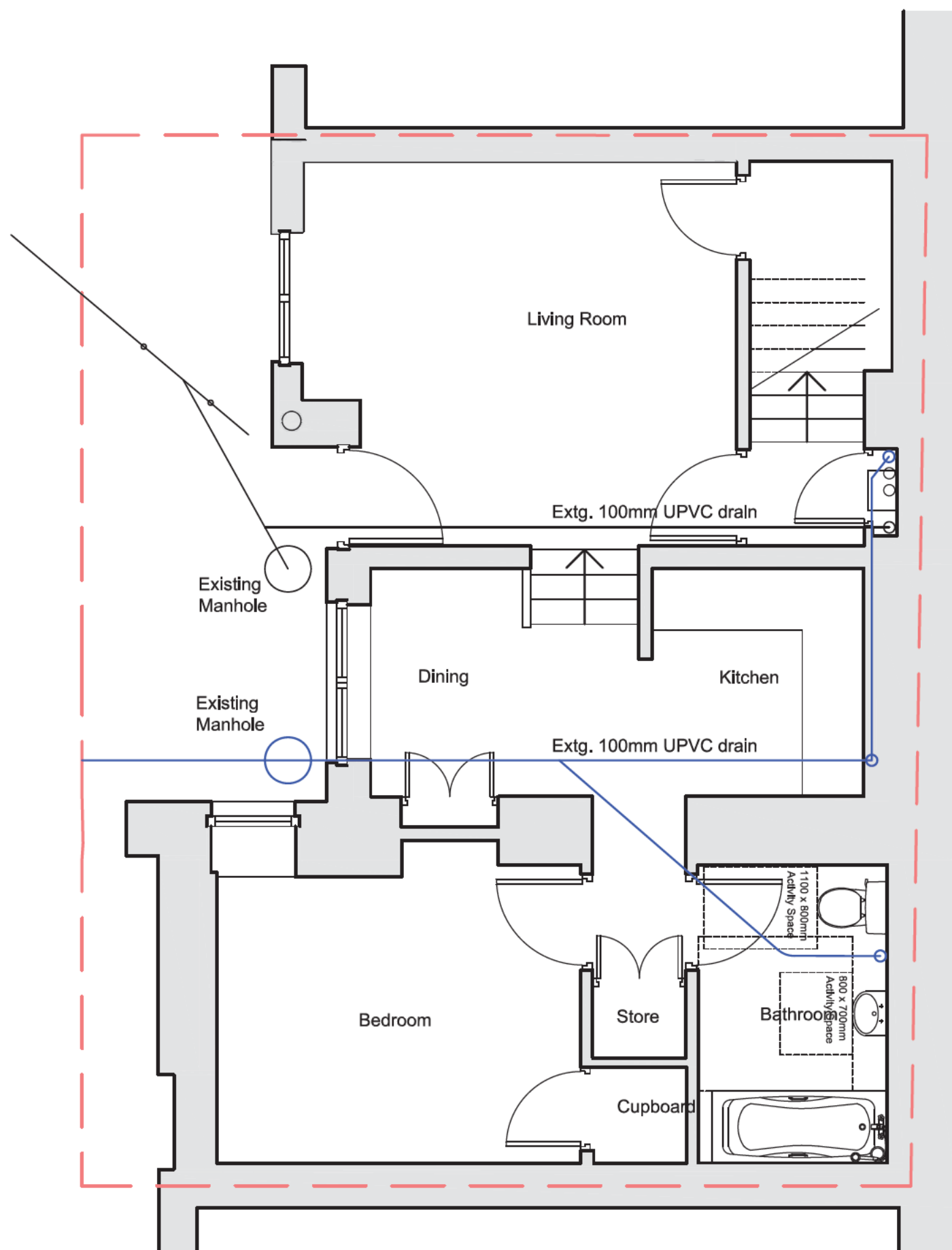
NOTE: Where the owner is not the applicant, then the verifier will notify the owner of the granting of the amendment to the building warrant as the verifier is required to do in terms of section 9(7)(b) of the Building (Scotland) Act 2003.



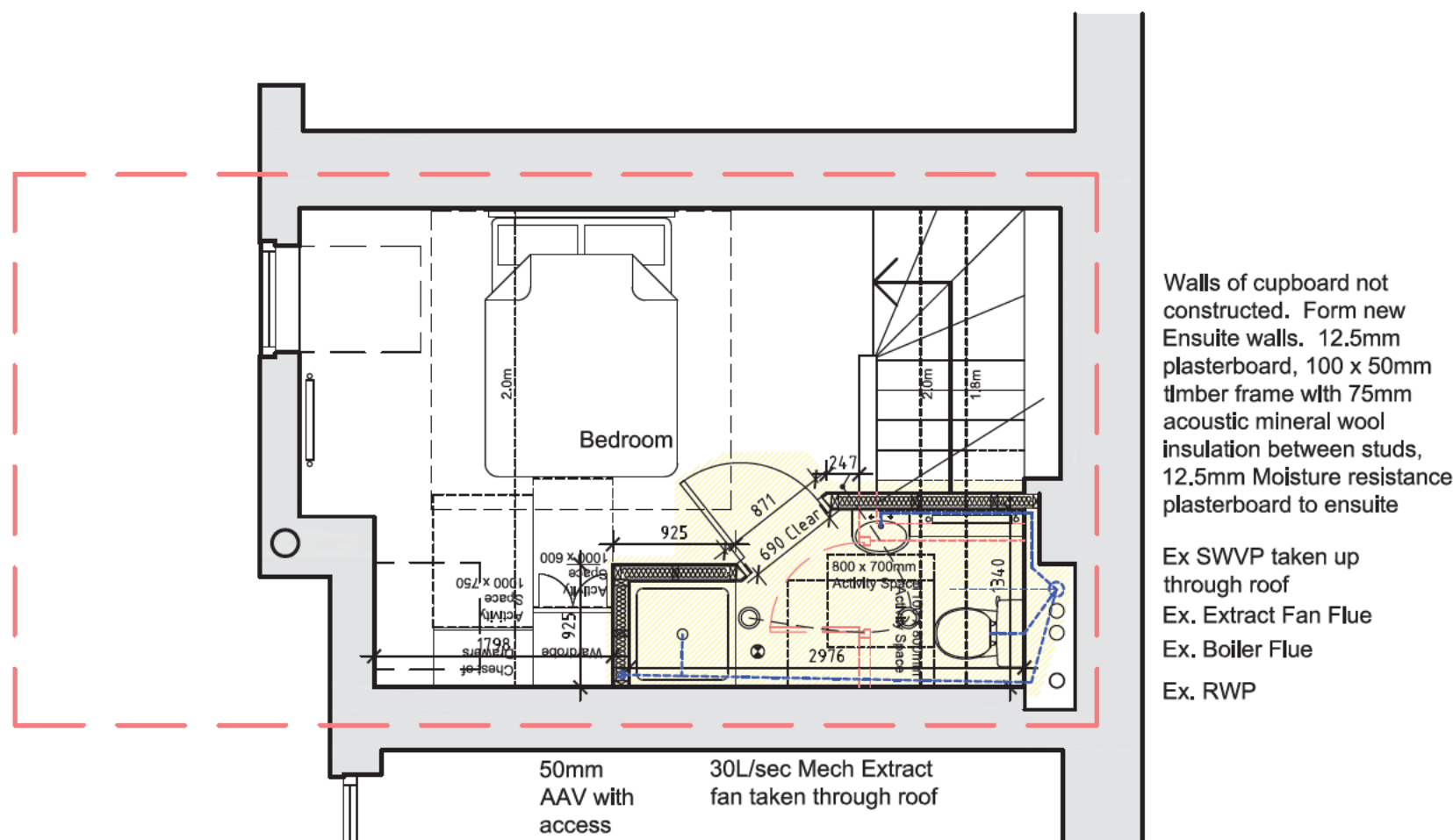
01 Existing Floor Plan
Scale 1:50 @ A1



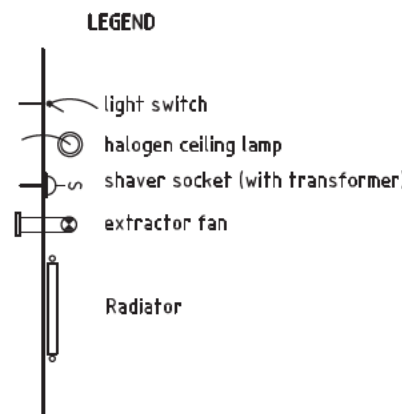
02 Existing Floor Plan
Scale 1:50 @ A1



04 Proposed Floor Plan (no change)
Scale 1:50 @ A1



05 Proposed First Floor Ensuite
Scale 1:50 @ A3



Building Control Notes:

- All works to comply with the current Building Standards (Scotland) Regulations (Domestic)
- Trickle ventilation to ensuite to be provided by 20mm undercut to door
- All electrical work to be carried out in strict accordance with the Regulations for Electrical Installations as published by the IEE, and in strict accordance with BS7671:2018.
- All drainage to be laid in accordance with the following standards:
PVCu pipework to comply with BS4513, ABS waste system to comply with BS5255, polypropylene traps to comply with BS3943.
Adequate means for inspection & rodding to be provided for all parts of drainage system. Installation, fixing, capacity & gradient of fittings to as per manufacturers instructions.
Manholes to be constructed in accordance with BS 752:2008.
Branches to be swept into drain - Not to be on their backs.
- Sanitary pipework - BS EN 12056-2:2000
Drainage outside a building - BSEN752-3: 1999 (amendment 2), BS EN 752-4:1998, BS EN 1610:1998

Sanitary Fittings, tiling etc to be installed in new bathrooms to clients specification.
Sink - 38mm ABS connection
WHB - 32mm ABS connection
Shower/Bath - 38mm ABS connection
WC - 100mm UPVC connection waste from WC to be connected into existing SVP using existing connections

Air admittance valves to comply with BS 5572:1994 Clause 6.3, 3.8 and installed above WHB and sink overflow levels, and above flood level of the highest appliance to be vented and accessible

Handholes to be installed at all changes in direction of pipework.

All pipe work to be supported in accordance with the manufacturers guidance

5. Heating provided by existing combi boiler.

6. All dimensions to be checked on site by Contractor.

7. Walls to Bathroom/Shower Rooms to be impervious to moisture - green gyproc to be used.

PREPARATION:
All dimensions to be verified on site by the Contractor prior to commencement of operations, particularly where off-site components assembly is involved. Figured dimensions take precedence over those scaled. Contract Administrator to be notified of significant discrepancies or where uncertainty exists.
Contractor to notify the Verifier and all Service Authorities of proposed works not less than one week before commencing site operations.
Scaffolding is to comply with BS 5973: 1993, and to be tied back to the structure in accordance with Clause 9 of BS 5973.

WATER SUPPLY:

Hot & cold water distribution to comply with Local Authority requirements. All pipe work to be thermally insulated against potential frost damage & excessive heat loss. Pipe work to be concealed, with access to stopcocks where appropriate. Hot water supply at point of delivery at bath or bidet to not exceed 48 degrees. Thermostatic mixing valve (TMV) or fitting complying with BS EN 1111 or BS EN 1287 to be fitted as close to the point of delivery as practicable.

Water efficient fittings should be provided to all WCs and WHBs within each dwelling. WCs should be dual flush with a maximum 4.5 Litre volume and taps fitted with flow restrictors to a maximum 6 litre per minute

Towel radiators to be fitted with TRV's

All Heating pipes are to be insulated with a minimum 25mm rigid insulation to minimise heat loss.

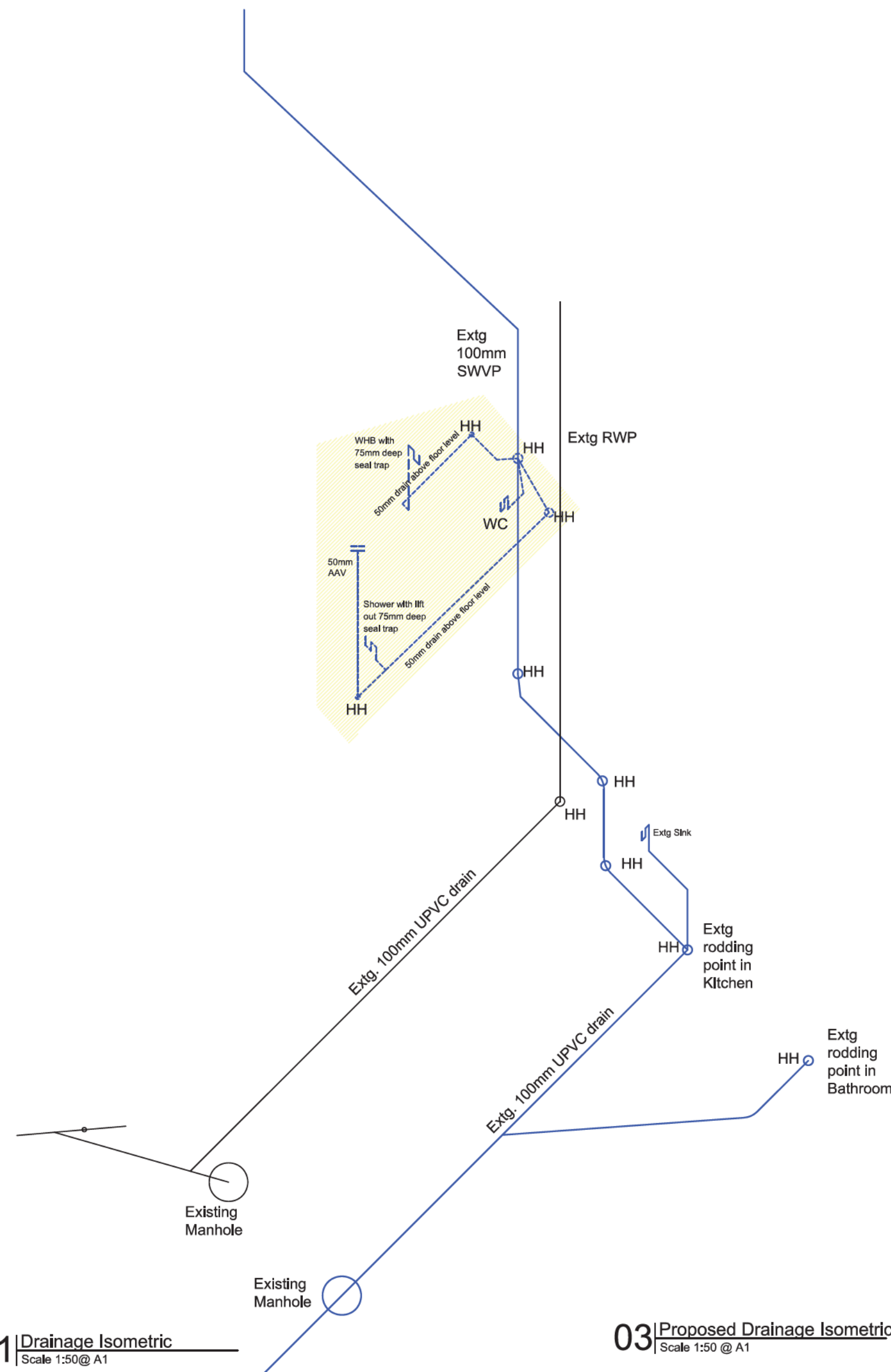
Internal walls:
12.5mm plasterboard (min density 12kg/m³), 100 x 50mm timber studs at max 600mm centres with 75mm acoustic mineral wool insulation (min density 12kg/m³), 12.5mm plasterboard (min density 12kg/m³)

INDOOR LIGHTING:
All indoor lighting (100%) is to be fitted with energy efficient fittings and bulbs. Low energy light fittings to have a minimum output of 400 Lamp Lumens. All in accordance with BS EN 15193:2007 - Energy performance of buildings - Energy requirements for lighting

VENTILATION:
ENSUITE - Install mechanical extraction capable of extracting 30 litres/sec & 10000mm² trickle ventilation taken through roof

ELECTRICAL INSTALLATIONS:
The electrical installation should be designed, constructed, installed and tested in accordance with the recommendations of BS 7671:2018, as amended and certified only by a person or company having membership to SELECT or NICEIC or similar electrical schemes recognised by the Scottish Building Standards. Sockets to be positioned at least 350mm from internal corners and not more than 1.2 m above floor level. Light switches should be positioned at a height of between 900mm and 1.1 m above floor level, standard switched or unswitched socket outlets and outlets for other services such as telephone or television should be positioned at least 400mm above floor level. Above an obstruction, such as a worktop, fixtures should be at least 150mm above the projecting surface.

HEATING SYSTEM:
The existing heating and hot water systems are to be extended as indicated and designed and constructed to comply with the Domestic Building Services Compliance Guide for Scotland 2015.
All new radiators and heated towel rails are to be fitted with TRV's



01 Drainage Isometric
Scale 1:50 @ A1

03 Proposed Drainage Isometric
Scale 1:50 @ A1

Project
Pearlsprings Ltd
12 Springvalley Gardens
Edinburgh
EH10 4QG

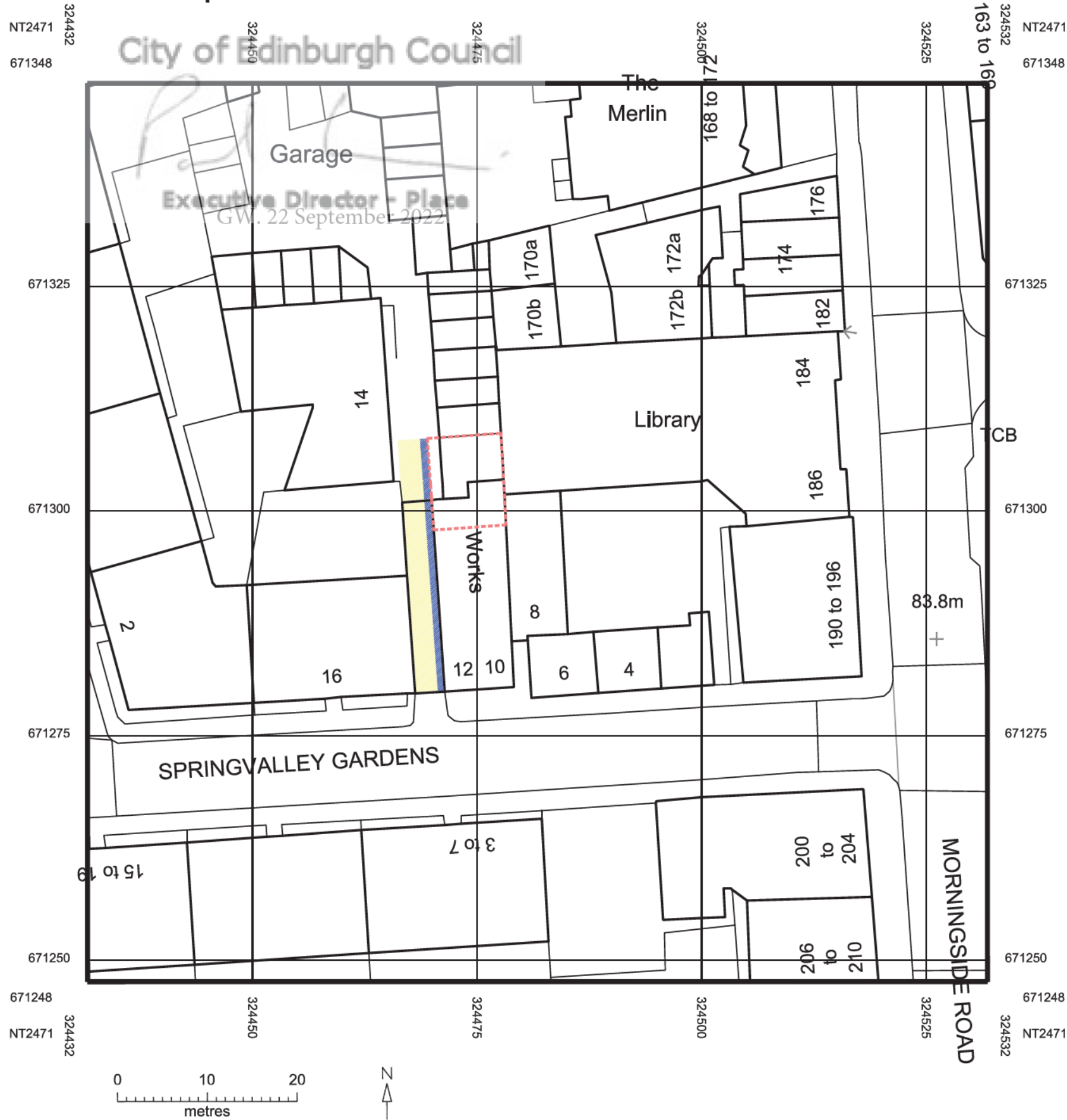
Drawing
Existing Floor Plans
Proposed Floor Plans
Warrant Notes & Drainage Isometric

McFadzean Studio

Architecture and Urban Design
1 Muirhouse Parkway, Edinburgh, Midlothian, EH4 5JG
T: 07817 579060 E: douglas@mcfadzeanstudio.co.uk

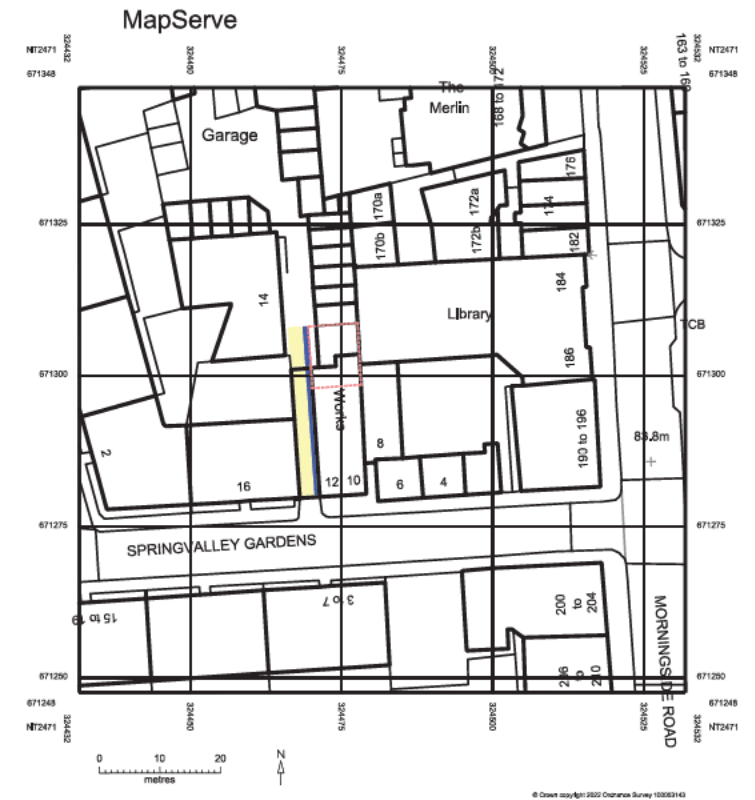
Scale	As Noted @ A1	Date	September 2022	By	DMcF
Job no	22-27	Drawing no	BWA-01	Rev	

MapServe



01 Site Plan

Scale 1:500



02 Location Plan

Scale 1:1250

KEY:

- Property Boundary
- Shared Vehicular access
- Share Pedestrian access

Project

Pearlsprings Ltd
12 Springvalley Gardens
Edinburgh
EH10 4QG

Drawing

Location Plan
Site Plan

McFadzean Studio

Architecture and Urban Design
1 Muirhouse Parkway, Edinburgh, Midlothian, EH4 5JG
T: 07817 579060 E: douglas@mcfadzeanstudio.co.uk

Scale	As Noted @ A1	Date	August 2022	By	DMcF
Job no	22-27	Drawing no	LOC-01	Rev	

McFadzean Studio.
FAO: Douglas McFadzean
40 Charlotte Dundas Court
Grangemouth
FK3 9EB

Pearlsprings Ltd.
FAO: Niyi Oludipe
23 Eilston Loan
Kirkliston
EH29 9FL

Date: 15 September 2022

Your ref:

Dear Sir/Madam

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997
Proposed change of use from office to short-term holiday let accommodation. at 12
Springvalley Gardens Edinburgh
EH10 4QG
REFERENCE NUMBER: 22/04432/FUL

CONFIRMATION OF RECEIPT AND REGISTRATION OF APPLICATION

Thank you for your application which was registered on 5 September 2022. We acknowledge receipt of your fee of £600.

We are experiencing an unusually high volume of applications and to manage this workload effectively, a new system is being trialled. This application has been temporarily allocated to the team manager and will be allocated to a case officer as soon as possible.

The statutory target date for this application is 4 November 2022. **Please be reassured that your application will be assessed and determined. However, it is going to take longer than normal, and we appreciate your patience and understanding at this time.**

In order to focus on applications, we aim to reduce the number of chase up emails and calls and contact will only be made by the case officer if:

- 1) additional information is required to allow a full assessment to be made;**
or
- 2) changes are needed to make the proposals acceptable.**

In some cases, where additional information is not forthcoming or substantial changes are needed, we will refuse the application or advise the applicant to withdraw their application.

Help us to help you:

It would help significantly if you could provide the following information at the time of submission:

- **Photographs showing the location of the work and the wider context (including interiors where listed building consent is being applied for)**
- **Noise Impact Assessment/Ventilation report (if relevant)**
- **Tree Survey (if relevant)**
- **Dimensions on the plans**
- **Contextual information i.e. neighbouring windows/ extensions (if relevant)**
- **45 degree daylighting calculations (if relevant)**

If you haven't already provided this, please could you use this time to upload the information via E-Planning. This will help the assessment process.

In the event of a decision not being made within the two month period, you may ask for the application to be reviewed by the Council's Local Review Body. The review notice should be submitted within 3 months from the target date specified above or agreed additional period.

Appeals and review requests should be made online at eplanning.scotland.gov.uk. Alternatively, please contact our appeals section at planning.appeals@edinburgh.gov.uk for advice.

Yours sincerely

Eden Anderson

Transactions Assistant

View and track planning applications made to the City of Edinburgh Council from your own PC. Go to: Planning & Building Standards Portal
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Stephen Architects
14 Alva Street,
Edinburgh,
EH2 4QG

Date 26 January 2021

Your Ref

Our Ref 20/01380/WARR

Dear Sir(s)/Madam,

APPROVAL OF BUILDING WARRANT

Address: 12 Springvalley Gardens, Edinburgh, EH10 4QG

I'm pleased to let you know that the Council granted a building warrant for your project on 26 January 2021. Your client can now start the work shown in the drawings covered by the warrant.

I've enclosed the following documents:

- Building Warrant
- important guidance notes which your client and the contractor must be aware of
- construction compliance notification plan (CCNP) detailing what we must see and what can be evidenced with photographs
- approved Building Warrant drawings.

Please complete our customer survey at <http://edinburgh.gov.uk/buildingwarrantfeedback>. We want to know how you think we are doing. We use the feedback to improve our service.

Please call Site Inspections on 0131 529 3550, whose working pattern is as follows:

Yours faithfully

Site Inspections

Site Inspections

BUILDING WARRANT

Building (Scotland) Act 2003

Warrant under section 9 for work subject to building regulations.

This warrant is granted by The City of Edinburgh Council in connection with the application by **Mr Jeff Stephens**

Dated: 4 June 2020

Proposal: The work is to create a dwelling out of existing storage spaces.

For work at: 12 Springvalley Gardens, Edinburgh, EH10 4QG,

The reference number of this building warrant is - 20/01380/WARR

Conditions

The following condition(s) apply:

That the work will be carried out as described in the building warrant and in accordance with building regulations and that nothing in any drawing, specification or other information submitted with the application indicates that the building when constructed will fail to comply with building regulations.

Continuing requirements

There is no requirements in this case.


Security matters

No details or documents are included in this section in this case.

A copy of the agreed plan(s) is/are returned

Signed

Dated 26 January 2021



PAUL LAWRENCE

Executive Director of Place

For and on behalf of The City of Edinburgh Council

Notes

1. To be considered as a limited-life building expiry must not be more than 5 years from the relevant date, which is the date of notification of acceptance of the completion certificate for the work, or the date of any permission for the temporary occupation or use of the building before acceptance of the completion certificate.
2. For construction, the stages specified in the procedure regulations are -
 - a) construction of foundations, or
 - b) such other stages as the verifier considers appropriate having regard to any guidance issued by the Scottish Ministers
3. For demolition, the stages specified in the procedure regulations are -
 - a) isolation and removal of services, fixtures and fittings,
 - b) isolation and protection of adjacent structures, or
 - c) such other stages, appropriate to the method of demolition, as the verifier considers appropriate having regard to any guidance issued by the Scottish Ministers.
4. It should be noted that where the owner is not the applicant, then the verifier will notify the owner of the grant of the building warrant as is required in terms of section 9(7)(b) of the Building (Scotland) Act 2003.

Important notice

- a) **This building warrant is valid for 3 years. A Completion Certificate must be submitted when the work is complete. If a completion certificate is not submitted within the 3 year period, an extension of the duration of the warrant must be applied for before the expiry original date. For demolitions, an extension must be applied for if the period for demolition specified on the warrant will not end within the 3 year period.**
- b) **The verifier must be notified**
 - A* of the date on which work is commenced within 7 days of such date,**
 - B* when any drain has been laid and is ready for inspection or test (unless this work is covered by a certificate of construction),**
 - C* when a drain track has been in-filled and the drainage system is ready for a second inspection or test (unless this work is covered by a certificate of construction),**
 - D* of the date of completion of such other stages as the verifier may require,**
 - and**
 - E* of the intention to use an approved certifier of construction.**

***How to notify - A, D & E above must be in writing. B & C can be by telephone, or by email or in writing.**

WARNING

A building warrant does not exempt you from obtaining other types of permission that may be necessary, such as planning permission or listed building consent. Consult the local authority if in doubt.

It is an offence to use or occupy the building(s) before obtaining acceptance of a completion certificate, unless the work is alteration only.

Important guidance notes

This guidance is for the person who has applied for a Building Warrant, his/her agent and any contractors involved in carrying out work in terms of a Building Warrant applied for on or after 1 October 2012.

The person applying for the warrant is responsible for making sure the building works comply with National Building Regulations - The Building (Scotland) Act 2003.

Please tell us as soon as possible when you will start work on your project. Ask your contractor to download a copy of the site start notification form from the Planning and Building section of our website www.edinburgh.gov.uk, complete it and send it in.

Site inspections

The contractor must allow for inspection stages (as noted on the CCNP) in their building programme so the Council can inspect or use other suitable means to 'make reasonable enquiry' that the works comply with building regulations. The person applying for the warrant is responsible for making sure the work complies with regulations and not the Council. The Council will not supervise the work or inspect every part of the build, so you may wish to consider site supervision or regular inspections.

The timing and frequency of these visits will vary depending the type of project, its size and complexity. The contractor must give the building surveyor at least three working days' notice to inspect the site.

Construction Compliance and Notification Plan (CCNP)

This specifies what we must see, such as drains before they are covered over or made hard to see. If elements are covered over before letting us know or we can inspect them, then we can ask for the works to be opened. This may damage floor or ceiling finishings or mean digging up ground again; at the cost of the person applying for the warrant.

It will also confirm if our Surveyor will accept photographs of certain constructional items before they are covered over.

Photographs

We will only accept photographs specified in your CCNP to help us make "reasonable inquiry" that the work complies with building regulation and the approved plans before verifying a completion certificate.

Photographs can be used to show:

- compliance with approved drawings or the Building Regulations
- that a design feature has been fully complied with
- a construction element of a building
- the dimensions of an element or material
- structural details.

Photographs or any accompanying information accepted must clearly:

- include the date when taken
- indicate what it is about
- if about measurement, evidence the measurement, for example including a tape measure as part of the photograph
- show the construction, structural elements, or materials used
- show the location of the subject of the photograph(s) and from where the photograph(s) was (were) taken.

Construction Compliance & Notification Plan

PROJECT DETAILS

Building address: 12 Springvalley Gardens

Edinburgh

EH10 4QG

Building Warrant Ref: 20/01380/WARR

Warrant Applicant's Name: Mr Jeff Stephens

Contact details: buildingstandards.siteinspections@edinburgh.gov.uk - 0131 529 3550

The Scottish Government require the Council to make "reasonable inquiry" in determining if your work complies with building regulations. It is the applicant's responsibility to ensure that the works comply with national building regulations, the table below, if followed, will assist the Council in meeting the Government's requirement of making "reasonable inquiry".

Notification Point	NOTES FOR APPLICANT
Commencement	Send notice regarding start of work to verifier at least seven days prior to starting on site.
Intermediate	A site inspection will be required to cover aspects of superstructure, structure, insulation and fire stopping of services at pre-plaster stage
Completion	Submit a completion certificate (Form 5) and all required certification, as per list below, via the online ebuildingstandards system or via post.

This document or a copy must be passed to the applicant's contractor if one is appointed.

Documents to be sent to the council with the completion certificate submission (Form 5):

- ☐ Electrical Certificate
- ☐ Fire detection certificate
- ☐ Boiler commissioning certificate
- ☐ SER Form Q
- ☐ Gas safe information

Notes to Applicant/Developer:

This verification process is not a site supervision process. Should this service be required the applicant should engage with a suitable professional.

Responsibility for compliance with the building regulations lies with the relevant person (usually the owner or developer). Therefore, any checks made by a verifier do not remove any responsibility from the relevant person who is required to certify all the completed work as being in accordance with the approved plans, details and building regulations by submitting a completion certificate (Form 5) to the verifier.

Please note that failure to notify the council at the required time may result in a disruptive inspection being required. This could result in a wall, floor or ceiling finish being damaged. The cost of any inspection will be borne by the relevant person in terms of the Building Scotland Act 2003.

1. The owner or developer should notify the verifier at the target key construction stages above, to allow the verifier to check compliance with building regulations. The number and nature of the site inspections may vary according to the type of works being undertaken.
2. Notification should allow a minimum of ten working days for the council to respond.
3. Once the applicant or developer is satisfied the project is complete and complies with Building Regulations, they must sign and submit the completion certificate (Form 5) to the Verifier. The submission should also include the additional supporting information required by the verifier as outlined in the CCNP.

The use of a Form K should only be submitted by email to the email address provided overleaf as any submission made via the [ebuildingstandards](#) portal will not notify the verifier.

Any reference in this document to “Verifier” means The City of Edinburgh Council acting as verifier in terms of The Building (Scotland) Act 2003.

Alternative Evidence

Alternative evidence verification checks throughout construction will normally centre on site visits although other methods can be used to check for compliance with the building regulations.

Photographs can be accepted, with prior agreement, by building standards staff to aid the process of “reasonable inquiry” in the acceptance of completion certificates.

Photographs or any accompanying information accepted should:-

- Give clear indication as to the date the photograph was taken
- Give clear indication as to the subject matter
- If used to indicate a measurement, give conclusive evidence of the measurement in question. For example this may be by having a tape measure as part of the photograph
- Give clear and unambiguous indication of the construction, structural elements, or materials used
- Contain in the photograph a clear indication of the location of the subject of the photograph(s) and where the photograph(s) was (were) taken from.

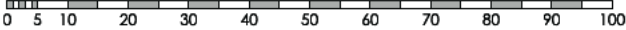
It is good practice to keep a photographic record of all works as they progress as they may be required by the verifier.

Executive Director - Planning
Warrant Dated: 29/01/2014



Site: 12 Springvalley Gardens

scale of metres



notes :

rev | date | by | -

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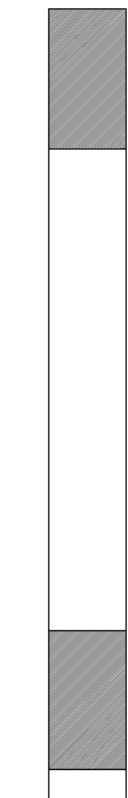
project	19078	12 Springvalley Gardens, Edinburgh
client	Mr D J Stephen	
drawing	Location Plan	
dwg no.	BW(--)-01	revision
scale	1 : 1250 @ A4	drawn DT/SG

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[Signature]

Executive Director - Place
Warrant Dated:26/01/21

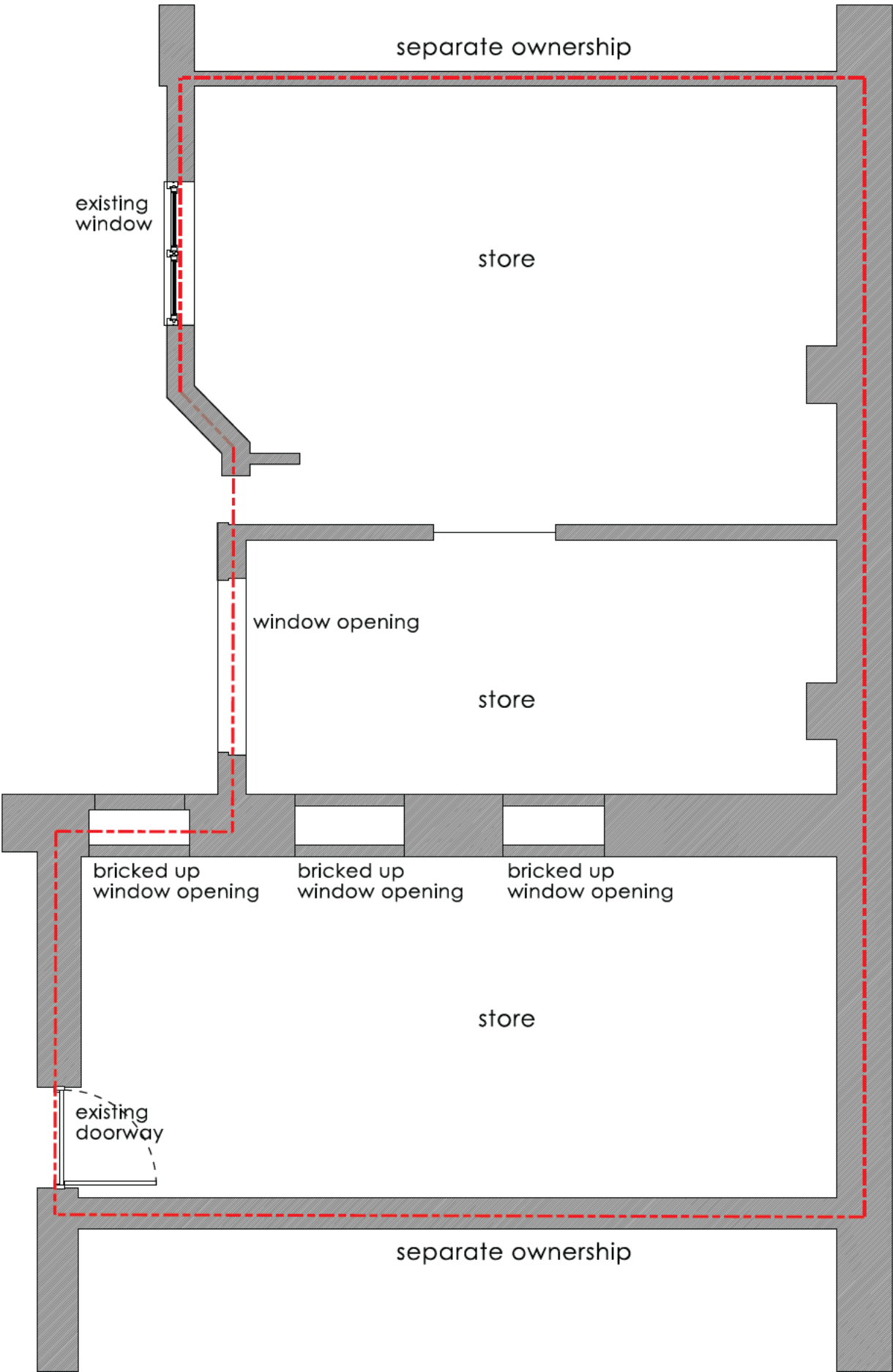


scale of metres



lane

pend



GROUND FLOOR PLAN



cdm health + safety information ☐

in addition to the hazards + risks normally associated with the type of work detailed in this drawing, please note the following additional hazards + risks.

note	description	measures to be taken
.	.	.

existing walls indicated with grey colour fill

site boundary

rev	date	by	.
.	.	.	.

susan stephen architects ☐

project	19078 12 Springvalley Gardens, Edinburgh		
client	Mr D J Stephen		
drawing	GROUND FLOOR PLANS AS EXISTING		
dwg no.	BW(23)01	revision	.
scale	1 : 1:50 @ A3	drawn	DT/SG

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application boundary

City of Edinburgh Council

adjoining property

Executive Director - Place
Warrant Dated:26/01/21

new rooflight

new rooflight

A

existing
slate roof

Ubbink slate vent

new rooflight

boiler flue
terminated
thru' roof

soil vent
pipe

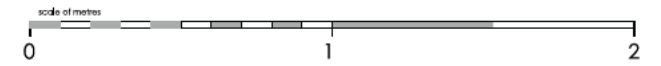
Ubbink slate vent
as terminals for
extract vents

adjoining property

application boundary

new work indicated with yellow colour fill

site boundary



cdm health + safety information

in addition to the hazards + risks normally associated with the type of work detailed in this drawing, please note the following additional hazards + risks.

note	description	measures to be taken
.	.	.

rev	date	by	-
-----	------	----	---

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project	19078 12 Springvalley Gardens, Edinburgh		
client	Mr D J Stephen		
drawing	PROPOSED ROOF PLAN		
dwg no.	BW(27)01	revision	.
scale	1 :25 @ A3	drawn	DT/SG

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GENERAL SPECIFICATION

Building to be converted from storage unit to form office, CONVERSION TYPE 9
All work shall be carried out in accordance with
the Building (Scotland) Regulations 2004
The local authority shall be notified prior to works commencing
No high alumina cement to be used.
Heating and hot water pipes to be insulated to BS 5422 or BS 5615.
Cold water pipes to be run on warm side of insulation or individually insulated, and
placed at least 100mm away from external walls.
All timber to be naturally durable and resistant to insect attack, or preservative treated
All structural timber to comply with BS 5268 Part 2.
All plasterboard joints to be taped and filled unless noted otherwise.

ELECTRICAL WORKS

All electrical works to be undertaken in accordance with BS 7671:2008.
IP56 rated equipment in bathroom.
At least 50% of all new lighting to be energy efficient
Electrical outlets and fixtures to be positioned at least 350mm from inside corners and
not more than 1200mm above floor level
Light switches to be located between 900mm and 1000mm
Where sockets are concealed, such as to the rear of built-in appliances,
or obstructed by built-in furniture, separate switching to be provided in an accessible position,
to allow appliances to be isolated
Automatic fire detection and alarm system to be fitted to BS 5939: Part 1 2013 to
Category L1 system (which automatically will include "category M")
Emergency lighting to be on a protected circuit
Emergency lighting to be in accordance with BS 5266: Part 1:2011
Signs and notices to comply with BS 5499-4:2000 Code of Practice for Escape Route Lighting
All electrical work to be installed, inspected and tested by an
Approved Electrician (SELECT or NICEIC registered)

WATER

Domestic water services installation to comply with Local Authority Byelaws
Copper Tubes to EN1057 - 250 alternatively plastic pipework to be used- to be confirmed
Pipework to be disinfected prior to use as BS 6700
Ball float valve to WC as BS 1212 Part 3
Ball valve to be fitted prior to each WC (Ball-C-Fix type with lever handle)
Dual flush WC cisterns should have an average flush volume, and single flush WC cisterns
should have an actual flush volume, of not more than 4.5 litres.
Hot water services pipework to be thermally insulated to BS 6700/ BS 5422.
Final connections to WHB, SHOWER and WC to be 15mm diameter
Incoming mains pipework to be suitably insulated to BS 6700/ BS 5422.
Pipework must be carefully clipped with resilient pipe supports.
Pipework must not touch the building structure especially when passing through floors.
Taps serving wash and hand rinse basins must have a flow rate of not more than 6 litres per
minute

HEATING/ HOT WATER

Thermostatic mixing valve to be fitted to whb, bath and shower valve to
restrict the temperature of hot water to 48deg.C
Thermostatic control valve to be fitted to any new radiators/ towel rails
New boiler and gas supply works to be installed by a GAS SAFE registered contractor

VENTILATION

Bathroom to have mechanically operated ventilation linked to light switch,
timer overrun and Isolator switch, capable of the following extraction rates:
Bathroom extract fan to have an extraction rate of at least 15l/s (Intermittent)
Mechanical extract fan extraction rate performance not to drop off due to length of duct,
therefore mechanical extract fan to be fit for purpose
Fan not to be located over bath.
Flexible duct to Ubbink slate vent.
Extract fan not on external wall to be a centrifugal type fan
Ventilation rates:
Bathroom: mechanical extraction rate of at least 15l/s (Intermittent)
Kitchen: mechanical extraction rate of 60l/s (intermittent)
Washing machine store: mechanical extraction rate of 30l/s (intermittent)

Trickle ventilators to be located at 1.75m above floor level
Trickle ventilation provision:
Kitchen area- 10,000mm2
Living area - 12,000mm2
Bedroom 2 - 12,000mm2
Low level grille to bathroom door to give 10,000mm2 of trickle ventilation
Low level grille to washing machine store door to give 10,000mm2 of trickle ventilation

WALL TILING

walls adjacent to bath to be fully tiled and
to be impervious to moisture
Minimum 2 courses of tiles above whb

LEADWORK

Code 5 lead sheets with welts at maximum of 600mm centres.
Sheets less than 2000mm long, fixed using SS clips @ 300mm centres.
Code 4 lead flashing to have laps on sheets exceeding 1500mm.
Laps should not be less than 150mm, Stainless steel clips to all free edges.
All Leadwork to be carried out in accordance with the
Lead Handbook recommendations.

WINDOWS

The top opening parts of ventilators to be
a minimum of 1.75m from finished floor level
Window to be upvc.
Opening movements to be casement (Inward opening)
All windows and doors to be high performance and compliant with
BS 5368 parts 1,2 & 3 and BS 6375.
All windows to be cleanable from inside to comply with BS 8213.
Double glazing in accordance with BS 6262
Flexible sealant to be provided between window components and
surrounding structure.
Windows to have bullnose mdf cills internally.
Rooflight windows all have the u-value of 1.4W/m2K, taken from literature
New windows to have u-value maximum of 1.6W/m2K
External doors to achieve 1.6W/m2K
External doors to achieve medium fire resistance duration, 60mins. Integrity and
top be self closing with intumescent strips and smoke seals.
Door clear opening dimension to be measured between door leaf and
opposite door stop

External cladding, HardiePlank Cladding, to be manufactured by James Hardie
Cladding to have Euroclass designation

Accessible access to be achieved thru' external doors to comply with current
Building Regulations

DRAINAGE

All drainage to be to the satisfaction of the Local Authority Drainage Inspector
Surface water drainage to be constructed and
installed in accordance with BS EN 12056-3:2000
Waste water drainage to be constructed and installed in accordance with
BS EN 12058-1:2000, BS EN 752:2008 and BS EN 1610:1998
Access points to be provided to syp stack at each floor
All appliances are to connect separately into stacks
All drainage to be adequately supported throughout its length and
in accordance with manufacturers literature.
All sanitary pipework to comply with BS EN 12056-2:2000
The following connections to be used:
100mm dia uPVC connections to WC
38mm dia ABS connection to bath, washing machine and sink
32mm dia ABS connection to WHB
Note air admittance valves (MacAlpine or equal and approved) to be located
above the flood level of the sanitary ware/ appliances served
No air admittance valves to be located at head of runs
Syp's at head of runs to be terminate externally
Syp terminals must be a minimum of 900mm above the
head of a window when located within 3000mm of a Window
All traps to be MacAlpine 75mm deep seal traps
Hepworth HepvO valve to be used after tundish to
boiler and to be installed as per manufacturers instructions
Condensate drain from boiler taken into drainage system
All pipework from safety valves taken externally to a place of safety

SOUND

A sound test is required on the party walls upon completion of the works.

ELECTRICS

All electrical works are to comply with BS 7671 : 2008
Smoke detectors, alarms and automatic fire detection systems to
comply with BS 5839 Part 1: 2013 to category L1
Emergency lighting to comply with BS 5266: Part 1: 2011 (non-maintained/ main

Legend and Electrical Key	
	Light switch, No. of ways indicated.
	Light switch, with pull cord.
	13A low-level single switched socket outlet.
	13A high-level single switched socket outlet.
	13A low-level double switched socket outlet.
	13A high-level double switched socket outlet.
	Fused flex outlet.
	Power point
	Single category 5 datacom point
	multi category 5 datacom point
	Pendant light fitting with ceiling rose.
	Recessed downlighter.
	Flourescent light fittings
	Extractor fan.
	Shaver point.
	Spur outlet
	Telephone Point
	Door Entrance Intercom
	Wall Mounted Emergency Light
	Infra-red detector
	Electricity meter.
	Gas meter.
	Electric distribution board.
	Doorbell sounder
	Doorbell push
	Central heating and hot water programmer unit
	Smoke Detector with Sounder Base.
	Wall mounted sensor light - operated by passive infra-red sensor
	Security system box
	Gas supply point
	Radiator/ Towel rail
	Gas fired boiler for heating & hot water
	1 gang spur outlet
	Alarm control panel
	Multigrid switch unit.
	Heat Detector
	Smoke Detector with Sounder Base.
	Mains powered carbon monoxide detector with lithium cell back-up

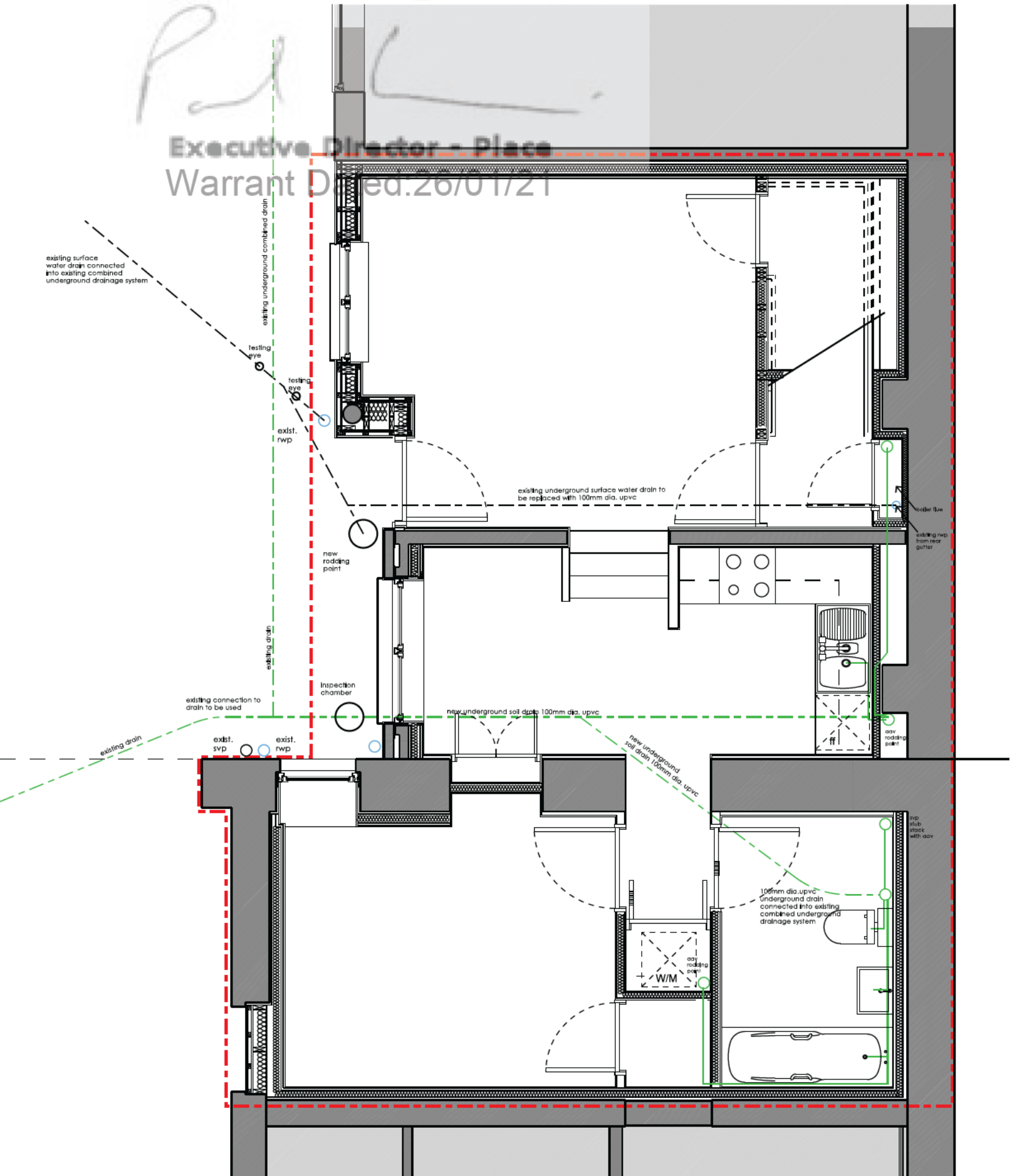
A 21.01.21 SG Notes added to determine volume of WC flush. Note added to determine flow rate o wash hand basins. Note added to require sound test on completion.

rev	date	by	-
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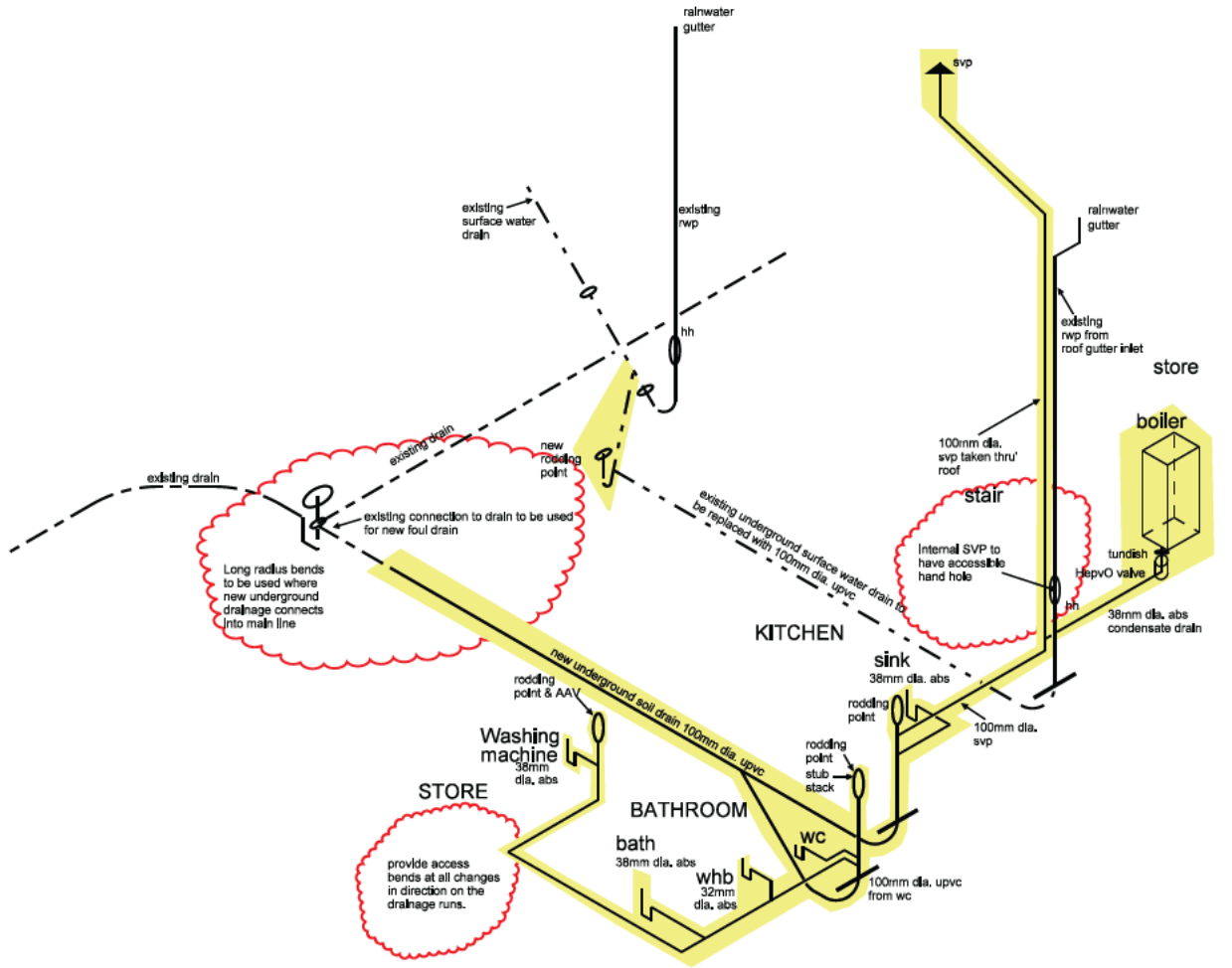
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project	19078	12 Springvalley Gardens, Edinburgh		
client	Mr D J Stephen			
drawing	GENERAL SPECIFICATION AND LEGEND AND ELECTRICAL KEY			
dwg no.	BW(-)02	revision	A	
scale	1 : N.T.S.	@ A3	drawn	DT/SG
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Executive Director - Place
Warrant Dated: 26/01/21



GROUND FLOOR PLAN, NTS



DRAINAGE ISOMETRIC, NTS

new work indicated with yellow colour fill

existing walls indicated with grey colour fill

site boundary - - - - -

DRAINAGE
All drainage to be to the satisfaction of the Local Authority Drainage Inspector
Surface water drainage to be constructed and installed in accordance with BS EN 12056-3:2000
Waste water drainage to be constructed and installed in accordance with BS EN 12056-1:2000, BS EN 752:2008 and BS EN 1610:1998
Access points to be provided to svp stack at each floor
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32mm dia ABS connection to WHB
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No air admittance valves to be located at head of runs
Svp's at head of runs to be terminate externally
Svp terminals must be a minimum of 900mm above the head of a window when located within 3000mm of a Window
All traps to be MacAlpine 75mm deep seal traps
Hepworth HepVO valve to be used after tundish to boiler and to be installed as per manufacturers instructions
Condensate drain from boiler taken into drainage system
All pipework from safety valves taken externally to a place of safety

B 19.01.21 LW Testing eyes & accessible hand holes indicated
A 11.05.20 SG Whb and WC swapped position

rev | date | by | -

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project	19078	12 Springvalley Gardens, Edinburgh
client	Mr D J Stephen	
drawing	GROUND FLOOR PLAN INDICATING DRAINAGE & DRAINAGE ISOMETRIC	
dwg no.	BW(5)-01	revision B
scale	1 : NTS @ A3	drawn PT/SG

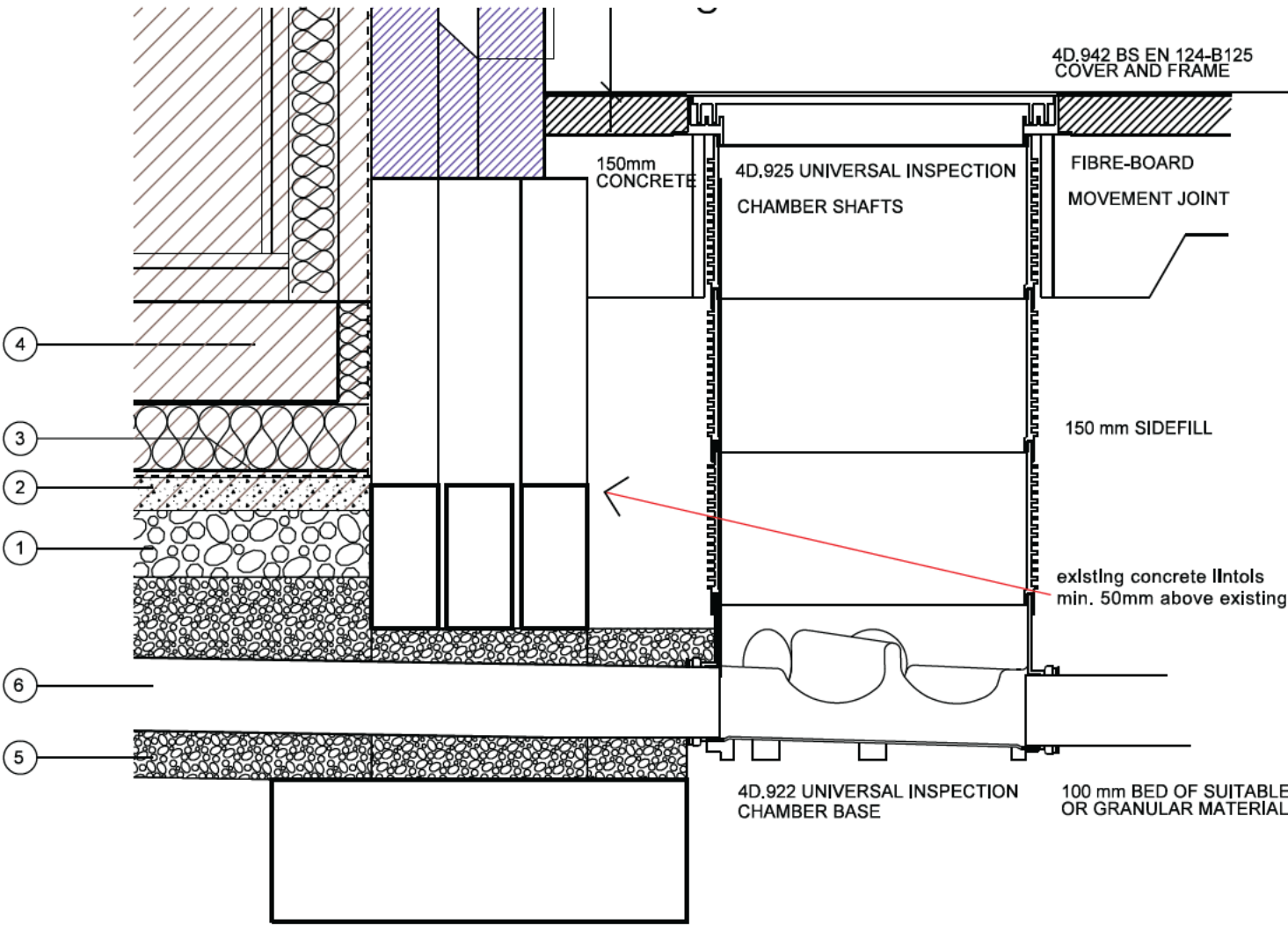
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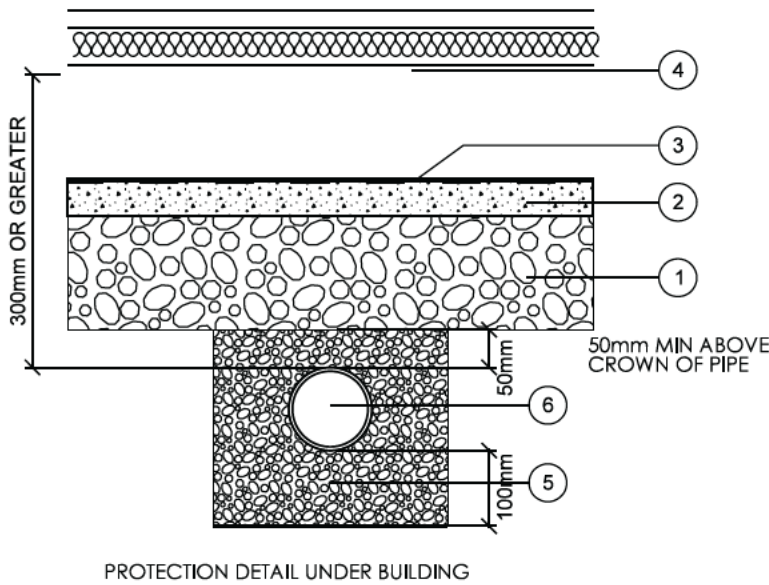
Warrant Dated:26/01/21




Underground Drainage Protection
Passing Through Dwelling Detail - 1:10

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL STRUCTURAL
ENGINEER'S DRAWINGS.

- 1 COMPACTED HARDCORE TO STRUCTURAL ENGINEER'S DESIGN
- 2 50mm SAND BLINDING
- 3 POLYTHENE DPM UNDER SLAB AND WRAPPED UP SIDES AND UNDER DPCs
- 4 CONCRETE FLOOR SLAB TO STRUCTURAL ENGINEER'S DESIGN
- 5 SVP
- 6 WEEPHOLES TO OUTER LEAF IMMEDIATELY BELOW GROUND LEVEL AT MAXIMUM 1350mm CENTRES

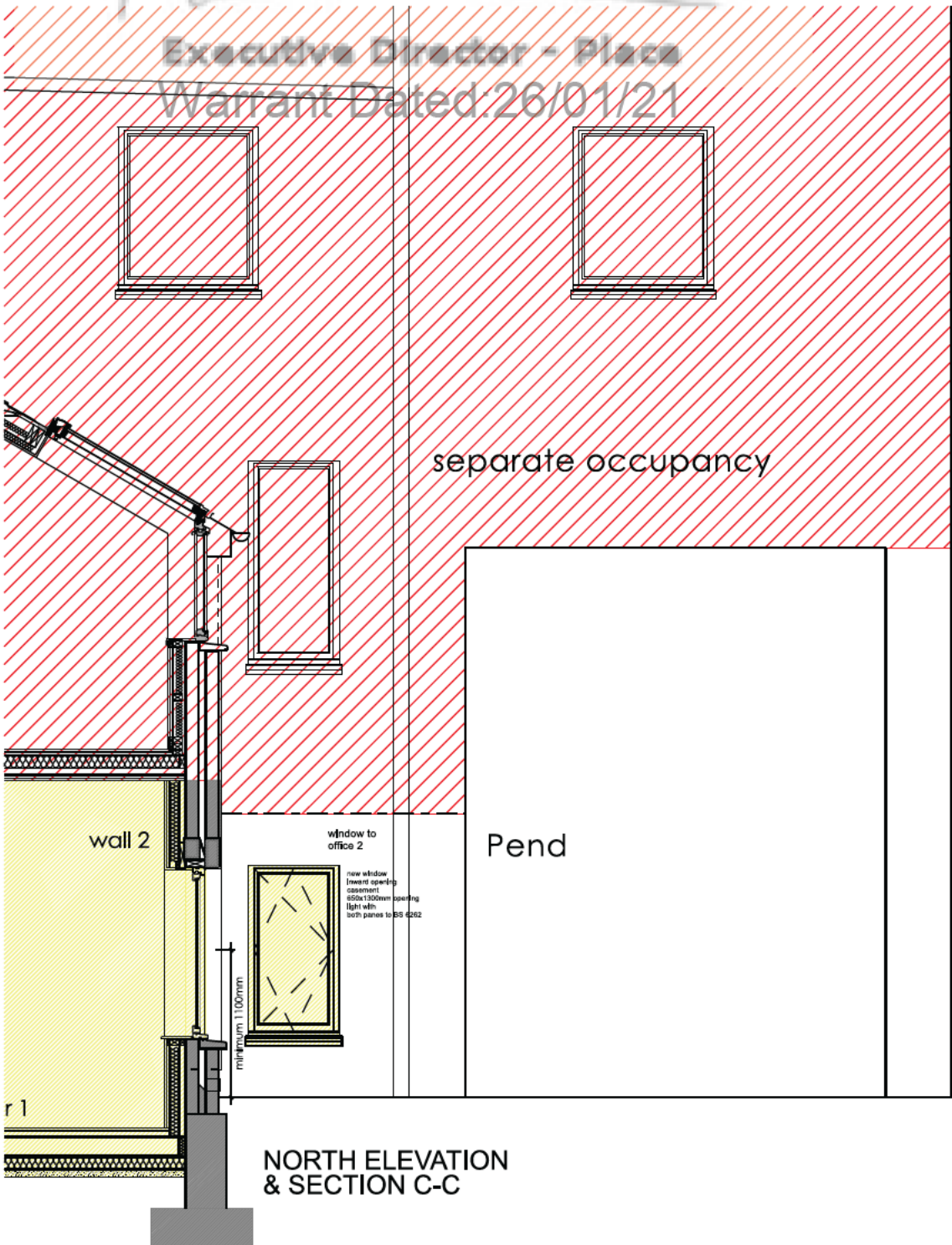


Underground Drainage Protection
Detail - 1:10

rev	date	by	
susan stephen architects 			
project	19078	12 Springvalley Gardens, Edinburgh	
client	Mr D J Stephen		
drawing	Drainage Bedding Details		
dwg no.	BW(5)-02	revision	.
scale	1 : 10 @ A3	drawn	LW
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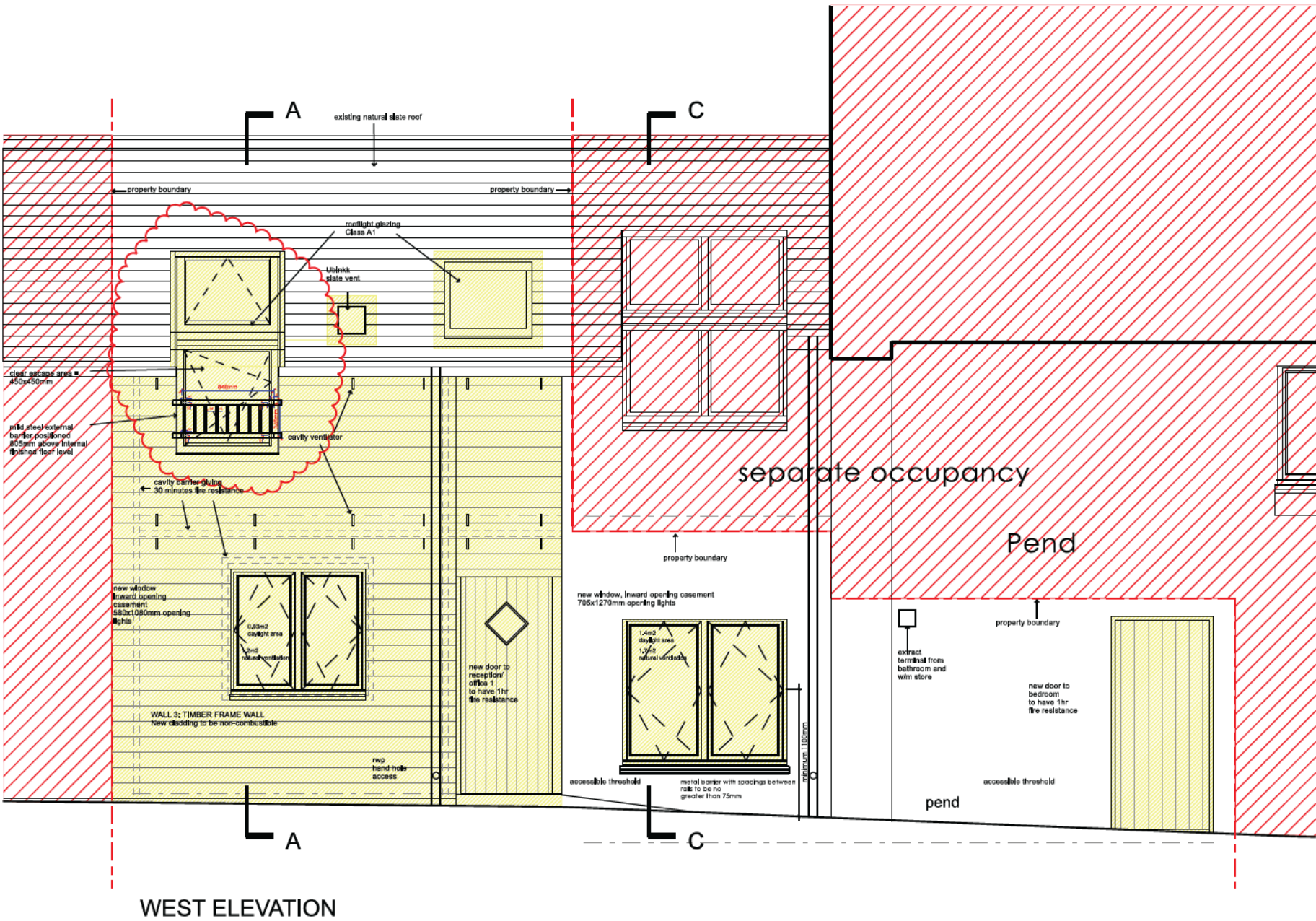
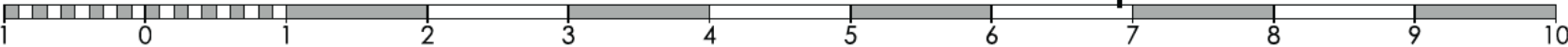
Paul L.

Executive Director - Place
Warrant Dated: 26/01/21



work to be removed indicated with
broken red line
new work indicated with yellow colour fill
existing walls indicated with grey colour fill

scale of metres



A 20.01.2021 LW External safety barrier added to vertical velux element to prevent fall.
rev | date | by | -

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project	19078	12 Springvalley Gardens, Edinburgh
client	Mr D J Stephen	
drawing	BW(20)01	
dwg no.	N & W ELEVATIONS & SECTION C-C	revision A
scale	1 : 1:50 @ A3	drawn DT/SG

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